



**The Crescent**  
**Stapleford, Nottingham NG9 8JA**

**Asking Price £225,000 Freehold**

A TRADITIONAL BAY FRONTED  
EXTENDED THREE BEDROOM SEMI  
DETACHED HOUSE OFFERED FOR SALE  
WITH NO UPWARD CHAIN.



ROBERT ELLIS ARE DELIGHTED TO WELCOME TO THE MARKET THIS BRIGHT AND AIRY EXTENDED TRADITIONAL BAY FRONT THREE BEDROOM SEMI DETACHED HOUSE OFFERED FOR SALE WITH NO UPWARD CHAIN BEING POSITIONED IN THIS POPULAR AND ESTABLISHED RESIDENTIAL NO-THROUGH ROAD LOCATION.

With accommodation over two floors, the ground floor comprises entrance hall, bay fronted living room, spacious full width family dining room, kitchen, rear hallway and bathroom. The first floor landing then provides access to three bedrooms (with the main bedroom benefitting from an en-suite WC).

The property also benefits from gas fired central heating served from a combination boiler, double glazing, off-street parking and enclosed garden space backing onto local allotments.

The property is situated within close proximity of excellent nearby schooling for all ages, as well as good transport links to and from the surrounding area, such as the A52 for Nottingham/Derby, Junction 25 of the M1 motorway and the Nottingham electric tram terminus situated at Bardills roundabout.

There is also easy access to outdoor countryside and local walks, as well as the shops, services and amenities in Stapleford town centre.

We believe the property will make an ideal first time buy or young family home and we highly recommend an internal viewing.



## ENTRANCE HALL

3'8" x 3'1" (1.14 x 0.96)

uPVC panel and double glazed front entrance door, staircase rising to the first floor, tiled floor, radiator. Door to living room.

## BAY FRONTED LIVING ROOM

13'6" x 11'11" (4.14 x 3.64)

Double glazed bay window to the front (with individually hung fitted blinds), radiator with display cabinet, media and router points, laminate flooring, Adam-style fire surround with brick insert and tiled hearth. Door to family dining room.

## FULL WIDTH FAMILY DINING ROOM

15'3" x 10'10" (4.65 x 3.32)

Split into two halves with ample space for dining table and chairs and seating area, double glazed window to the side, radiator with display cover. Archway opening through to the kitchen, door leading through to the utility closet.

## UNDERSTAIRS UTILITY AREA

Plumbing for washing machine with shelving above, power, lighting and also housing the 'Baxi' gas fired combination boiler (for central heating and hot water purposes).

## KITCHEN

12'4" x 8'4" (3.77 x 2.56)

Equipped with a matching range of fitted base and wall storage cupboards and drawers, with butchers block roll top work surfaces incorporating sink unit with central swan-neck mixer tap and tiled splashbacks. Fitted four ring induction hob with extractor over and oven beneath. Glass fronted crockery cupboards, display shelving, space for full height fridge/freezer, radiator, tiled floor, double glazed window to the rear (with fitted blinds), uPVC panel and double glazed exit door to the rear garden.

## SIDE HALLWAY

6'9" x 5'1" (2.08 x 1.56)

Accessed directly from the kitchen with a further uPVC panel and double glazed exit door to outside, radiator, fixed coat pegs and shelving. Door to ground floor bathroom.

## GROUND FLOOR BATHROOM

7'3" x 5'10" (2.23 x 1.79)

Three piece suite comprising "P" shaped bath with matching shower screen, mixer tap and electric shower over, wash hand basin with mixer tap and push flush WC. Double glazed

window to the side, chrome ladder towel radiator, extractor fan.

## FIRST FLOOR LANDING

Double glazed window to the side (with fitted blinds), loft access point to a partially boarded loft space. Doors to all bedrooms.

## BEDROOM ONE

11'10" x 11'4" (3.62 x 3.47)

Double glazed window to the front (with fitted blinds), radiator. Door to en-suite WC.

## EN-SUITE WC

3'9" x 3'0" (1.15 x 0.93)

Two piece suite comprising push flush WC, wash hand basin with mixer tap and tiled splashbacks. Double glazed window to the front, laminate-style flooring.

## BEDROOM TWO

11'10" x 7'10" (3.61 x 2.41)

Double glazed window to the rear overlooking the garden and allotments beyond, radiator, TV point.

## BEDROOM THREE

7'7" x 7'1" (2.33 x 2.16)

Double glazed window to the rear (with fitted blinds) overlooking the rear garden and allotments beyond, radiator.

## OUTSIDE

To the front of the property, there is a lowered kerb entry point to a block paved driveway providing off-street parking comfortably for two vehicles, front brick boundary wall, front garden lawn, pedestrian access leading down the right hand side of the property to the rear garden.

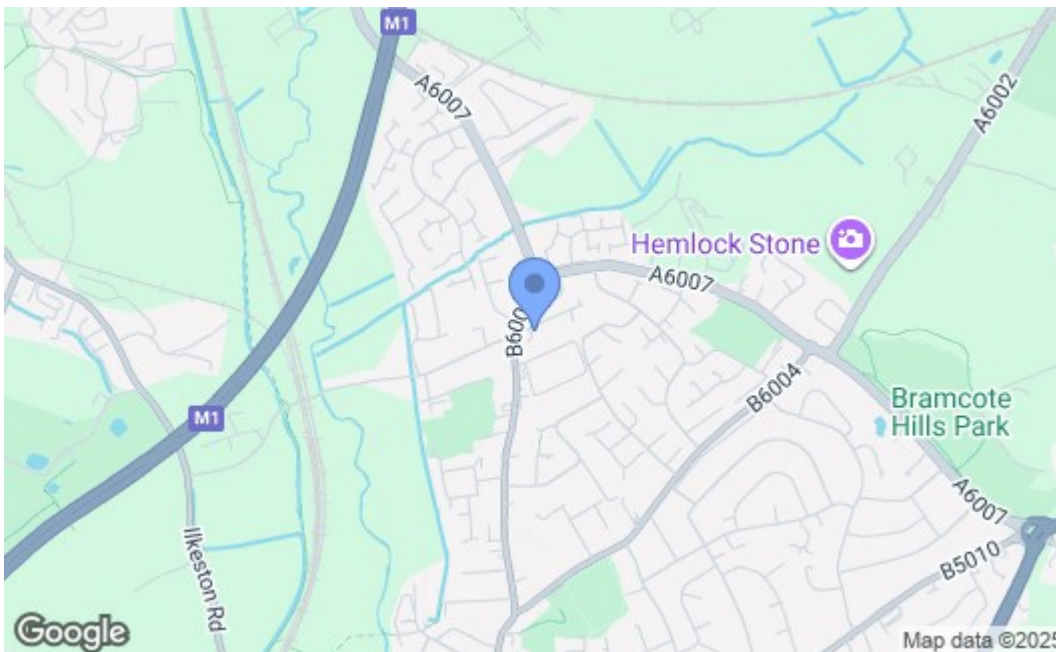
## TO THE REAR

The rear garden is enclosed by timber fencing to the boundary lines being lawned with seating areas and a timber storage shed tucked in the bottom right corner of the garden. Within the garden, there is an external water tap and lighting point, as well as pedestrian access leading back to the front of the house.

## DIRECTIONAL NOTE

From our Stapleford Branch on Derby Road, proceed to the Roach traffic lights and turn left onto Church Street. At the bend in the road, continue left onto Pasture Road and proceed in the direction of Trowell. Take a right hand turn onto The Crescent and the property can be found on the right hand side.





Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			87
(81-91) B			
(69-80) C			
(55-68) D		68	
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
<b>England &amp; Wales</b>		EU Directive 2002/91/EC	
Environmental Impact (CO <sub>2</sub> ) Rating		Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not environmentally friendly - higher CO <sub>2</sub> emissions			
<b>England &amp; Wales</b>		EU Directive 2002/91/EC	

These details are for guidance only and complete accuracy cannot be guaranteed. If there is any point, which is of particular importance, verification should be obtained. All measurements are approximate. No guarantee can be given with regard to planning permissions or fitness for purpose. No apparatus, equipment, fixture or fitting has been tested.